

MEMBERS' UPDATE

HEAD OF PAID SERVICE'S OFFICE
HEAD OF PAID SERVICE
Richard Holmes

28 February 2019

Dear Councillor

COUNCIL EXTRAORDINARY - PLANNING) - THURSDAY 28 FEBRUARY 2019

Please find enclosed the Members' Update for the above meeting, detailing any further information received in relation to the following items of business since the agenda was printed.

4. **OUT/MAL/15/00419 - Land at Broad Street Green Road, Maypole Road and Langford Road, Great Totham, Essex** (Pages 3 - 8)
5. **RES/MAL/18/01440 - Land South of Wycke Hill and Limebrook Way, Maldon, Essex** (Pages 9 - 16)
6. **FUL/MAL/18/01439 - Land South of Wycke Hill and Limebrook Way, Maldon, Essex** (Pages 17 - 18)

Yours faithfully



Head of Paid Service

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**CIRCULATED PRIOR
TO THE MEETING**



**REPORT of
DIRECTOR OF STRATEGY, PERFORMANCE AND GOVERNANCE**

to
**COUNCIL (EXTRAORDINARY)
28 FEBRUARY 2019**

MEMBERS' UPDATE

AGENDA ITEM 4

Application Number	OUT/MAL/15/00419
Location	Land At Broad Street Green Road, Maypole Road And Langford Road Great Totham / Heybridge Essex
Proposal	Amended application part outline/part detailed (hybrid) application for mixed use development including: (i) Residential development (Use Class C3) (Outline) (ii) Residential Care (Use Class C2) (Outline) (iii) "Neighbourhood" uses which may include retail, commercial, and community uses (Use Classes A1 and/or A2 and/or A3 and/or A4 and/or A5 and/or D1a and/or D1b) (Outline) (iv) Primary school and early years childcare facility (Use Class D1c) (Outline) (v) A relief road between Broad Street Green Road and Langford Road (Detailed element) (vi) Formal and informal open space (including any associated sports pavilion/clubhouse) (Use Class D2e) (Outline); (vii) Construction of initial gas and electricity sub-stations (Detailed); and (viii) All associated amenity space, landscaping, parking, servicing, utilities (other than as listed in item (vii) above), footpath and cycle links, on-site drainage, and infrastructure works (Outline).
Applicant	Countryside Properties & EC, MA & DC Watson & KL Watson-Knee
Agent	Mr Kevin Coleman - Phase 2 Planning & Development Ltd
Target Decision Date	TBC.
Case Officer	Ian Harrison, TEL: 01621 875751
Parish	GREAT TOTHAM, HEYBRIDGE, LANGFORD AND ULTING.
Reason for Referral to the Committee / Council	Environmental Impact Assessment Strategic Site S2(d) within the Approved Local Development Plan Major Application

Parameter Plans

The Applicant has also included a number of minor amendments to the parameter plans in an attempt to overcome some concerns raised during the planning process. It is considered appropriate to amended Condition 8 and Condition 16 to reflect the updated parameter plans.

The plans still contain indicative information regarding the location of the school, care home and the attenuation ponds/ It is an accepted point of planning law that annotations do not bind the Applicant, and therefore, inversely, do not bind the Council, but it is considered appropriate to include an informative, for clarity, that confirms that the Council has not assessed this as part of the outline planning application process.

6. HOUSING AND RESIDENTIAL USES (PAGES 20 – 25)

6.11 Open-Market Housing Mix

Since the preparation of the Officer Report, the applicant has submitted a document titled North Heybridge, Maldon Housing Mix Report (Dated February 2019). This was prepared by the applicant following concerns being raised in relation to the housing mix that is proposed through the imposition of condition 49 of the permission.

This document identifies the following points:

- The Council's SHMA bases the suggested housing mix on 'need' rather than demand.
- The SHMA only assessed need for a period of 5 years and not up to 2029.
- The assumption that people occupy dwellings they need is flawed as it is more common for people to occupy dwellings that they can afford and therefore the assumptions made in relation to downsizing are unrealistic.
- Housing assessments should therefore be based on existing occupancy patterns.
- In demographic terms, the highest household growth rate is likely to be in the category of 'older households' but 'families with children' is also projected to grow substantially.
- Based on census data and household projections it is suggested that the mix should be as follows:

Bedrooms	Percentage	Smaller & Larger Mix
1	Less than 10%	30 to 40%
2	20 to 30%	
3	40 to 45 %	60 to 70%
4	15 to 30%	

After receipt of this document the Council and the Applicant entered in to further discussions. This resulted in the Applicant subsequently putting forward the following suggested condition:

“Unless otherwise agreed in writing, the overall housing mix for the development hereby approved shall provide for the following:

- Not less than 50% of all residential properties to be 1 or 2 bedroom homes;
- Not less than 30% of all residential properties to be 3 bedroom homes;
- Remainder to be 4+ bedroom homes.

Not less than 4% of all residential properties to be constructed shall comprise of 1 or 2 bedroom bungalows.”

Officers Response:

The Local Planning Authority acknowledges that the SHMA is not contemporaneous. However, it is considered to be a relevant and robust document. Notwithstanding this, it is considered that there is conflicting arguments about the level of smaller dwellings required through the plan period and the report provided looks specifically at Heybridge rather than the wider district. Furthermore, the suggested conditions would provide a level of smaller units (1 or 2 bedroom) that would still be above that suggested by the Applicant in their report and would also guarantee the provision of market bungalows.

It is noted that the adopted Policy (H2 Housing Mix) seeks “to deliver a higher proportion of smaller (1 or 2 bedroom) units” as well as “meeting the diverse needs of all people within the District”. As members will know there is a shortfall through the plan of dwellings aimed at meeting the housing needs of the older residents of the District.

As discussed in detail in the main report the development in front of members tonight is the same application, although amended, to that which members have previously considered acceptable and were minded to grant planning permission subject to the completion of a Section 106 agreement. Whilst it is acknowledged that the weight attributed to this resolution should not be as significant as to an extant permission and the planning landscape has changed since this resolution, e.g. the Secretary of State’s decision regarding the LDP, it is still a material consideration for the determination of this application. At the time of the previous resolution to grant planning permission the number of 1 and 2 bedroom properties provided would only have been some 22.5%. The proposal would include both market and affordable housing through the provision of bungalows, a minimum of 4% of the overall scheme. This provision would have the potential to provide a type of accommodation that is attractive to the older residents of the district and would help to meet the diverse needs of the residents of the district.

Furthermore, it is worth noting that the number of 4+ dwellings would be limited to no more than 20% of the units as the proposal would include a substantial percentage of 3 bedroom dwellings which are considered to be smaller family dwellings which could facilitate a greater level of churn.

It is therefore, considered acceptable and appropriate to amend condition 49 and to include an additional condition (condition 50) as set out below. It is considered that this will ensure that the permission will still provide a range of housing to meet the long term needs of the District.

36 CONDITIONS (PAGES 87 – 104)

- 8 The development hereby approved shall be carried out in accordance with the following approved plans:
- 'Design Parameter Plan - Land Use' (Ref PRM-01 Rev R)
 - 'Design Parameter Plan - Building Heights' (Ref PRM-04 Rev P)
 - 'Design Parameter Plan - Residential Density' (Ref PRM-05 Rev Q)
 - 'Design Parameter Plan – Green and Blue Infrastructure' (Ref PRM-02 Rev W)
 - 'Design Parameter Plan – Access and Movement' (Ref PRM-03 Rev P)

REASON To ensure that the reserved matters accord with these approved plans and policies S3, S4 D1, D5, N1, N3, T1, T2 of the Approved Maldon District Local Development Plan, the endorsed North Heybridge Garden Suburb Strategic Masterplan Framework, and the NPPF and PPG.

- 16 Any reserved matters application detailing the layout of the development shall include a scheme to show the provision of a network of pedestrian and cycle routes linking all areas within that part of the development, in accordance with drawing number PRM-03 Rev P 'Design Parameter Plan – Access and Movement. The cycle routes shall be appropriately hard surfaced and, where provided as a separate dedicated 'off carriageway' route, shall have a minimum width of 3m or 3.5m minimum if there is a shared use provision with a footway. The pedestrian and cycle routes shall be implemented in accordance with the approved scheme.

REASON To ensure provision of pedestrian and cycle routes and to promote sustainable modes of transport in accordance with policies S3, S4, D1, T1 and T2 of the Approved Maldon District Local Development Plan, the endorsed North Heybridge Garden Suburb Strategic Masterplan Framework, and the NPPF and PPG.

- 49 The development shall be carried out in accordance with the housing mix as stated below:

Bedrooms	Percentage
1 or 2	Minimum (min.) 50
3	Minimum (min.) 30
4+	No more than 20

REASON To ensure that the housing mix of the development accords meets the needs of the District in accordance with Policy so H2 of the Approved Maldon District Local Development Plan.

- 50 Not less than 4% of the dwellings hereby approved shall be smaller dwellings (1 or 2 bedroom) that do not exceed single storey in height.

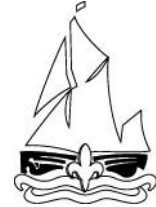
REASON To ensure that the housing mix of the development accords meets the needs of the District in accordance with Policy so H2 of the Approved Maldon District Local Development Plan

INFORMATIVE:

The indicative information included within the Parameter Plans, including but not limited to the location of the care home, early years facility and the retention basins, has not been accessed as part of this outline application. These matters will be fully considered at the correct time, either through a reserved matters application(s) and/or through the discharge of appropriate condition(s), the lack of an objection at this time should not be read as the Council agreeing to the principle of any of these matters.

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**CIRCULATED PRIOR
TO THE MEETING**



**REPORT of
DIRECTOR OF PLANNING AND REGULATORY SERVICES**

**to
COUNCIL (EXTRAORDINARY)
28 FEBRUARY 2019**

MEMBERS' UPDATE

AGENDA ITEM NO. 5

Application Number	RES/MAL/18/01440
Location	Land South Of Wycke Hill And Limebrook Way, Maldon, Essex
Proposal	Approval of reserved matters (layout, scale, appearance and landscaping) for Phase 2 of the Eastern Parcel of the wider Land South of Wycke Hill and Limebrook Way site (LPA Application Ref. FUL/MAL/18/00071), comprising the construction of 406 residential dwellings (Use Class C3) and associated work
Applicant	Taylor Wimpey (East London)
Agent	Ms Catherine Williams – Savills
Target Decision Date	12 March 2019
Case Officer	Kathryn Mathews
Parish	MALDON WEST
Reason for Referral to the Committee / Council	At the discretion of the Director of Strategy, Performance and Governance

1. RECOMMENDATION (PAGE 105)

Since the publication of the Agenda, the description of the proposal has been amended to refer to the correct number of dwellings proposed. Neighbours and external consultees have been advised of this correction and provided with a further 21 days to comment on the proposal. Site notices have also been displayed at the site and there will be a notice in the press. Officers seek delegated authority to approve the application subject to conditions following the expiration of the re-consultation period in the event that no new material planning considerations are raised as part of any representations or consultation responses received.

Revised Recommendation:

Approval of the application subject to conditions be delegated to the Director of Strategy, Performance and Governance subject to the expiry of the publicity period and no new relevant planning considerations being raised.

3. SUMMARY (PAGES 107 – 112)

- 3.1.10 The applicant's agent has advised that the proposed market residential mix is actually as follows:

Dwelling Size	Phase 2
1 Bed Flat	15 (4.9%)
2 Bed Flat	31 (10.1%)
2 Bed House	55 (17.9%)
3 Bed House	106 (34.5%)
4 Bed House	89 (29.0%)
5 Bed House	11 (3.6%)
Total	307 (100%)

6. PRINCIPLE OF DEVELOPMENT AND HOUSING MIX (PAGES 113 – 115)

- 6.3 The applicant's agent has advised that the overall market housing mix for Phases 1 and 2 is actually as follows:

Dwelling Size	Phase 1	Phase 2
1 Bed Flat	0 (0%)	15 (4.9%)
2 Bed Flat	0 (0%)	31 (10.1%)
2 Bed House	24 (20.5%)	55 (17.9%)
3 Bed House	55 (47.0%)	106 (34.5%)
4 Bed House	31 (26.5%)	89 (29.0%)
5 Bed House	7 (6.0%)	11 (3.6%)
Total	117 (100%)	307 (100%)

- 6.5 The proportion of smaller units proposed for Phase 2 would, therefore, be 32.9% for Phase 2 and 29.5% when Phases 1 and 2 are combined.

7. DESIGN AND IMPACT ON THE CHARACTER AND APPEARANCE OF THE AREA (PAGES 115 – 119)

- 7.9 The proposed densities have been confirmed as 37.35dph for the high-density area, 25.26dph for the medium density area and 24.38dph for the low density area. The medium density area is below that set out in the 'Parameter Plan' (30-35dph) but is acceptable taking into account the location of the site within a Garden Suburb.

16. CONSULTATIONS AND REPRESENTATIONS RECEIVED (PAGES 132 – 135)

16.3 Internal Consultees (*summarised*) (Pages 134 – 135)

Name of Internal Consultee	Comment	Officer Response
Countryside and Coast Officer	The proposal is acceptable from an ecology perspective subject to the implementation of the recommendations in the Ecological Assessment.	Noted – refer to section 12 of report. Recommended condition 2 relates to the implementation of the recommendations of the ecological reports

17. PROPOSED CONDITIONS (PAGES 135 – 144)

Please note the following updates in relation to conditions 1, 4 and 9.

- 1 Proposed Density Plan should be rev C, not rev A. The Construction Environmental Management Plan was submitted for information only and should be deleted as this is required through Condition 81 of the outline planning permission and therefore there is no need to include this at Reserved Matters stage. Whilst the Proposed Drainage Strategy has already been secured through planning permission FUL/MAL/18/00494 and therefore is not required at Reserved Matters stage.
- 4 The applicant considers that condition 4 is unnecessary. Confirmation as to the requirements for this condition has been sought from Sport England who have advised that the condition is not necessary as the matters are already covered by condition 50 of the outline planning permission. Therefore it is recommended that this condition be removed from the recommendation.
- 9 Schedule 11 of the S106 for the outline planning permission requires details of the children's play areas (including benches and cycle parking) to be submitted to the Council for approval prior to implementation of a given phase. Condition 9 is therefore unnecessary. Therefore it is recommended that this condition be removed from the recommendation.

AMENDED CONDITION

- 1 The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

Parameter Plans

1301.P0 411 PROPOSED PARKING LAYOUT rev. A
1301.P0 412 PROPOSED DENSITY PLAN rev. C
1301.P0 413 PROPOSED MATERIALS LAYOUT rev. B
1301.P0 414 PROPOSED GARDEN LAYOUT rev. A
1301.P0 415 PROPOSED REFUSE STRATEGY rev. B
1301.P0 416 PROPOSED STOREY HEIGHTS rev. A

House Types

1301-HT PA25 V1 500 House Type PA25 - Plans & Elevations
1301-HT PA25 V3 502 House Type PA25 - Plans & Elevations
1301-HT PA25 V4 503 House Type PA25 - Plans & Elevations (Special)
1301-HT PA25 V5 504 House Type PA25 - Plans & Elevations (Special)
1301-HT PA25 V6 505 House Type PA25 - Plans & Elevations (Special)
1301-HT PA25 V7 506 House Type PA25 - Plans & Elevations
1301-HT B3 V1 510 House Type B3 - Plans & Elevations
1301-HT B3 V2 511 House Type B3 - Plans & Elevations
1301-HT B3 V3 512 House Type B3 - Plans & Elevations
1301-HT B3 V4 513 House Type B3 - Plans & Elevations
1301-HT B3 V5 514 House Type B3 - Plans & Elevations
1301-HT NA32 V1 520 House Type NA32 - Plans & Elevations (Special)
1301-HT NA32 V2 521 House Type NA32 - Plans & Elevations
1301-HT NA32 V3 522 House Type NA32 - Plans & Elevations
1301-HT NA32 V4 523 House Type NA32 - Plans & Elevations
1301-HT NA32 V5 524 House Type NA32 - Plans & Elevations (Special)
1301-HT NA32 V6 525 House Type NA32 - Plans & Elevations (Special)
1301-HT NA32 V7 526 House Type NA32 - Plans & Elevations
1301-HT NT30 V1 530 House Type NT30 - Plans & Elevations
1301-HT NT30 V2 531 House Type NT30 - Plans & Elevations (Special)
1301-HT NT30 V3 532 House Type NT30 - Plans & Elevations (Special)
1301-HT NT30 V4 533 House Type NT30 - Plans & Elevations
1301-HT NT32 V1 540 House Type NT32 - Plans & Elevations
1301-HT NT32 V3 542 House Type NT32 - Plans & Elevations (Special)
1301-HT NT32 V4 543 House Type NT32 - Plans & Elevations (Special)
1301-HT WDMN V1 550 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V2 551 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V4 553 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V5 554 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V6 555 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V7 556 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V8 557 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V9 558 House Type WOODMAN - Plans & Elevations
1301-HT WDMN V10 559 House Type WOODMAN - Plans & Elevations
1301-HT NB32 V1 560 House Type NB32 - Plans & Elevations
1301-HT B4 V1 570 House Type B4 - Plans & Elevations
1301-HT B4 V2 571 House Type B4 - Plans & Elevations
1301-HT B4 V3 572 House Type B4 - Plans & Elevations
1301-HT PA44 V1 580 House Type PA44 - Plans & Elevations
1301-HT PA44 V2 581 House Type PA44 - Plans & Elevations
1301-HT NT41 V1 590 House Type NT41 - Plans & Elevations
1301-HT NT41 V2 591 House Type NT41 - Plans & Elevations
1301-HT NA43 V1 600 House Type NA43 - Plans & Elevations
1301-HT NA43 V2 601 House Type NA43 - Plans & Elevations
1301-HT NA43 V3 602 House Type NA43 - Plans & Elevations
1301-HT NA43 V4 603 House Type NA43 - Plans & Elevations
1301-HT NT42 V1 610 House Type NT42 - Plans & Elevations
1301-HT NT42 V2 611 House Type NT42 - Plans & Elevations

1301-HT NT42 V3 612 House Type NT42 - Plans & Elevations
 1301-HT NT42 V4 613 House Type NT42 - Plans & Elevations
 1301-HT NT42 V5 614 House Type NT42 - Plans & Elevations
 1301-HT NT42 V6 615 House Type NT42 - Plans & Elevations
 1301-HT NT42 V7 616 House Type NT42 - Plans & Elevations
 1301-HT PT45 V1 620 House Type PT45 - Plans & Elevations
 1301-HT PT45 V2 621 House Type PT45 - Plans & Elevations
 1301-HT PT45 V3 622 House Type PT45 - Plans & Elevations
 1301-HT PT45 V4 623 House Type PT45 - Plans & Elevations
 1301-HT PT45 V5 624 House Type PT45 - Plans & Elevations
 1301-HT PA49 V1 630 House Type PA49 - Plans & Elevations
 1301-HT PA49 V2 631 House Type PA49 - Plans & Elevations
 1301-HT PA49 V3 632 House Type PA49 - Plans & Elevations
 1301-HT PA49 V4 633 House Type PA49 - Plans & Elevations
 1301-HT PA49 V5 634 House Type PA49 - Plans & Elevations (Special)
 1301-HT PA49 V6 635 House Type PA49 - Plans & Elevations (Special)
 1301-HT PA49 V7 636 House Type PA49 - Plans & Elevations
 1301-HT PA49 V8 637 House Type PA49 - Plans & Elevations
 1301-HT PA49 V9 638 House Type PA49 - Plans & Elevations
 1301-HT PA49 V10 639 House Type PA49 - Plans & Elevations
 1301-HT NA51 V1 640 House Type NA51 - Plans & Elevations (Special)
 1301-HT NA51 V2 641 House Type NA51 - Plans & Elevations
 1301-HT NA51 V3 642 House Type NA51 - Plans & Elevations
 1301-HT NA51 V4 643 House Type NA51 - Plans & Elevations
 1301-HT NA51 V6 644 House Type NA51 - Plans & Elevations
 1301-HT NA51 V7 645 House Type NA51 - Plans & Elevations
 1301-HT NA50 V1 650 House Type NA50 - GA Plans
 1301-HT NA50 V1 651 House Type NA50 - ELEVATIONS
 1301-HT NA50 V2 652 House Type NA50 - GA Plans
 1301-HT NA50 V2 653 House Type NA50 - ELEVATIONS
 1301-HT NA50 V3 654 House Type NA50 - GA Plans
 1301-HT NA50 V3 655 House Type NA50 - ELEVATIONS
 1301-HT B1 V1 660 House Type B1 - Plans & Elevations
 1301-HT B1 V2 661 House Type B1 - Plans & Elevations
 1301-HT B1 V3 662 House Type B1 - Plans & Elevations
 1301-HT B2 V1 670 House Type B2 - Plans & Elevations
 1301-HT B2 V2 671 House Type B2 - Plans & Elevations
 1301-HT PT22 V1 680 House Type PT22 - Plans & Elevations
 1301-HT AA23 V1 690 House Type AA23 - Plans & Elevations
 1301-HT AA23 V2 691 House Type AA23 - Plans & Elevations
 1301-HT AA31 V2 701 House Type AA31 - Plans & Elevations
 1301-HT F4 720 PRIVATE APARTMENTS F4 - GA PLANS
 1301-HT F4 721 PRIVATE APARTMENTS F4 - GA PLANS
 1301-HT F4 722 PRIVATE APARTMENTS F4 – ELEVATIONS
 1301-HT F5 725 PRIVATE APARTMENTS F5 - GA PLANS
 1301-HT F5 726 PRIVATE APARTMENTS F5 - GA PLANS
 1301-HT F5 727 PRIVATE APARTMENTS F5 - ELEVATIONS
 1301-HT F1 740 RETIREMENT APARTMENTS F1 - GA PLANS
 1301-HT F1 741 RETIREMENT APARTMENTS F1 - GA PLANS
 1301-HT F1 742 RETIREMENT APARTMENTS F1 - ELEVATIONS
 1301-HT F2 750 AFFORDABLE APARTMENTS F2 - GA PLANS

1301-HT F2 751 AFFORDABLE APPARTMENTS F2 - ELEVATIONS
1301-HT F3 752 AFFORDABLE APPARTMENTS F3 - GA PLANS
1301-HT F3 753 AFFORDABLE APPARTMENTS F3 - GA PLANS rev. A
1301-HT F3 754 AFFORDABLE APPARTMENTS F3 – ELEVATIONS
rev.A

Garages and Car Ports

1301-GAR V1 750 Garage - Single V1
1301-GAR V2 751 Garage - Single V2
1301-GAR V3 752 Garage - Single V3
1301-GAR V4 753 Garage - Single V4
1301-GAR V5 754 Garage - Single V5
1301-GAR V6 755 Garage - Single V6
1301-GAR V7 756 Garage - Single V7
1301-GAR V8 757 Garage - Single V8
1301-GAR V9 758 Garage - Single V9
1301-GAR V1 759 Garage - Double V1
1301-GAR V2 760 Garage - Double V2
1301-GAR V3 761 Garage - Double V3
1301-GAR V1 762 Garage - Twin V1
1301-GAR V2 763 Garage - Twin V2
1301-GAR V3 764 Garage - Twin V3
1301-GAR V4 765 Garage - Twin V4
1301-GAR V5 766 Garage - Twin V5
1301-GAR V6 767 Garage - Twin V6
1301-GAR V7 768 Garage - Twin V7
1301-GAR 769 Single Car Port
1301-GAR 770 Double Car Port

Sports Pavilion

1301.P1 800 rev.F Proposed Sports Pavilion (Plans and Elevations)

Boundary Design Details CSA/3000/125

POS Design Details CSA/3000/126 rev.A

Phase 2 POS Landscape Proposals 1 of 6 CSA/3000/170

Phase 2 POS Landscape Proposals 2 of 6 CSA/3000/171

Phase 2 POS Landscape Proposals 3 of 6 CSA/3000/172

Phase 2 POS Landscape Proposals 4 of 6 CSA/3000/173

Phase 2 POS Landscape Proposals 5 of 6 CSA/3000/174

Phase 2 POS Landscape Proposals 6 of 6 CSA/3000/175 rev.A

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Phase 2 - Soft Landscape Proposals - Sheet 2 of 13 CSA/3000/137

Phase 2 - Soft Landscape Proposals - Sheet 3 of 13 CSA/3000/138

Phase 2 - Soft Landscape Proposals - Sheet 4 of 13 CSA/3000/139

Phase 2 - Soft Landscape Proposals - Sheet 5 of 13 CSA/3000/140

Phase 2 - Soft Landscape Proposals - Sheet 6 of 13 CSA/3000/141

Phase 2 - Soft Landscape Proposals - Sheet 7 of 13 CSA/3000/142

Phase 2 - Soft Landscape Proposals - Sheet 8 of 13 CSA/3000/143

Phase 2 - Soft Landscape Proposals - Sheet 9 of 13 CSA/3000/144

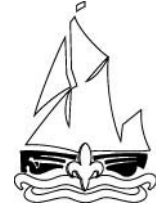
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 Phase 2 - Hard Landscape Proposals - Sheet 1 of 13 CSA/3000/149
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 Phase 2 - Hard Landscape Proposals - Sheet 11 of 13 CSA/3000/159 rev.A
 Phase 2 - Hard Landscape Proposals - Sheet 12 of 13 CSA/3000/160 rev.A
 Phase 2 - Hard Landscape Proposals - Sheet 13 of 13 CSA/3000/161
 Sports Field Layout CSA/3000/163 rev.A
 LEAP 1 Detailed Proposals (Phase 2) CSA/3000/168
 NEAP Detailed Proposals (Phase 2) CSA/3000/169
 Sports Pavilion Car-Park Landscape Proposals CSA/3000/162
 Sports Pitch Performance Specification CSA/3000/06 rev.A
 Topographical Survey Sheet 1 21328se-01
 Topographical Survey Sheet 2 21328se-02
 Topographical Survey Sheet 3 21328se-03
 Topographical Survey Sheet 4 21328se-04
 Topographical Survey Sheet 5 21328se-05
 Topographical Survey Sheet 6 21328se-06
 Topographical Survey Sheet 7 21328se-07
 Topographical Survey Sheet 8 21328se-08
 Topographical Survey Sheet 9 21328se-09
 Topographical Survey Sheet 10 21328se-10
 Topographical Survey Sheet 11 21328se-11
 Topographical Survey Sheet 12 21328se-12
 Topographical Survey Sheet 13 21328se-13
 Topographical Survey Sheet 14 21328se-14
 Topographical Survey Sheet 15 21328se-15
 Topographical Survey Sheet 16 21328se-16
 Topographical Survey Sheet 17 21328se-17
 Topographical Survey Sheet 18 21328se-18
 Topographical Survey Sheet 19 21328se-19
 Topographical Survey Sheet 20 21328se-20
 Levels Strategy (Sheet 1 of 5) Z517_130 P1
 Levels Strategy (Sheet 2 of 5) Z517_131 P1
 Levels Strategy (Sheet 3 of 5) Z517_132 P1
 Levels Strategy (Sheet 4 of 5) Z517_133 P1
 Levels Strategy (Sheet 5 of 5) Z517_134 P1
 Adoptable Highway Construction Details Z517_115 P1
 Contours & Geometry & Levels (Sheet 1 of 5) Z517_110 P1
 Contours & Geometry (Sheet 2 of 5) Z517_111 P1
 Contours & Geometry (Sheet 3 of 5) Z517_112 P1
 Contours & Geometry (Sheet 4 of 5) Z517_113 P1
 Contours & Geometry (Sheet 5 of 5) Z517_114 P1

Highways Note Z517-03
Planning Statement Nov-18
Air Quality Assessment 10523/AQ/01
Noise Assessment 10523/NA/01
Energy Statement Dec-18
Arboricultural Method Statement Dec-18
Balcony Design Intent for Houses/Flats F1- F5
REASON To ensure that the development is carried out in accordance with the details as approved.

**CIRCULATED PRIOR
TO THE MEETING**



**REPORT of
DIRECTOR OF STRATEGY, PERFORMANCE AND GOVERNANCE**

to
**COUNCIL (EXTRAORDINARY)
28 FEBRUARY 2019**

MEMBERS' UPDATE

AGENDA ITEM NO. 6

Application Number	FUL/MAL/18/01439
Location	Land South Of Wycke Hill And Limebrook Way, Maldon, Essex
Proposal	Redevelopment to provide 33 residential units (Class C3) together with associated infrastructure
Applicant	Taylor Wimpey (East London)
Agent	Ms Catherine Williams – Savills
Target Decision Date	12.03.2019
Case Officer	Kathryn Mathews
Parish	MALDON WEST
Reason for Referral to the Committee / Council	Strategic site within the strategic submitted Local Development Plan

7. DESIGN AND IMPACT ON THE CHARACTER AND APPEARANCE OF THE AREA (PAGES 154 – 158)

- 7.9 The proposed density has been confirmed as 30.1dph which is within the 'Parameter Plan' (30-35dph) for this medium-density area.

15. CONSULTATIONS AND REPRESENTATIONS RECEIVED (PAGES 166 – 170)

15.3 Internal Consultees (*summarised*)

Name of Internal Consultee	Comment	Officer Response
Environmental Health	The additional 33 units are within the development site. Therefore, they are unlikely to be adversely affected by traffic noise.	Noted – refer to section 10 of report
Countryside and Coast Officer	The proposal is acceptable from an ecology perspective subject to the implementation of the recommendations in the Ecological Assessment.	Noted – refer to section 12 of report. Recommended condition 2 relates to the implementation of the recommendations of the ecological reports.

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